



To the Honorable Council
City of Norfolk, Virginia

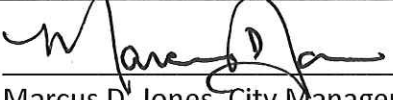
April 12, 2016

From: George M. Homewood, FAICP, CFM, Planning Director

Subject: **Downtown Development Certificate to grant two development waivers in order to convert an existing 4-story historic warehouse into multi-family with 57 dwelling units at 519 Front Street – Front Street Flats**

Reviewed: 
Ronald H. Williams, Jr., Deputy City Manager

Ward/Superward: 2/6

Approved: 
Marcus D. Jones, City Manager

Item Number: **R-15**

- I. **Staff Recommendation:** Approval.
- II. **Commission Action:** By a vote of **7 to 0**, the Planning Commission recommends **Approval**.
- III. **Request:** Downtown Development Certificate to permit the substantial rehabilitation of an existing 4-story historic warehouse; converting the vacant warehouse into 57 dwelling units necessitating two downtown development waivers (building placement and parking).
- IV. **Applicant:** James Reidy
- V. **Description:**
 - The site consists of a vacant warehouse building and is located within the Fort Norfolk area directly to the west of the PETA building.
 - The proposed conversion of the building into multi-family residential is eligible for historic tax credits, which would require all improvements, modifications and alterations to be rigorously reviewed in order to be approved by the National Park Service (NPS) and the Virginia Department of Historic Resources (VDHR).
 - The applicant proposes to utilize State/Federal historic tax credits to rehabilitate the structure, following all NPS/VDHR guidelines for an appropriate historic restoration.
- VI. **Historic Resources Impacts:**
 - The building was approved as an historic resource by the NPS and VDHR in 2014.
 - The *Security Storage & Safe Deposit Company Warehouse* was built as a fireproof storage facility in the Commercial Style with Art Deco and/or Cubist elements (NPS/NRHP Registration Form DHR No. 122-0901).

- While the structure is designated as a contributing resource by the NPS and VDHR, the site is not located within a locally designated historic district or identified as a local historic landmark, and the design guidelines applicable within local historic districts do not apply to this structure.
 - However, the applicant proposes to utilize State/Federal historic tax credits to rehabilitate the structure, following all NPS/VDHR guidelines for an appropriate historic restoration.

VII. Plan Consistency

- Action DL1.1.6 of the Enjoying Daily Life chapter of *plaNorfolk2030* calls for enhancing public access to parks and recreational facilities by making needed infrastructure improvements to access sidewalks, bikeways, boat ramps and beach access ways.
 - In working with the Architectural Review Board and City Planning Commission, the applicant has agreed to a condition within the attached ordinance to install a twelve-foot wide public walkway along the Elizabeth River.
 - The proposed walkway will provide pedestrian connectivity from the Bea Arthur Dog Park to the underutilized industrial property to the west, with the intent that future redevelopment will tie-in, providing public access to the river.

VIII. Building Placement Waiver:

Staff recommends **approval** of the waiver, since meeting the building placement requirement is not feasible for an existing building without jeopardizing the historic integrity.

IX. Off-Street Parking waiver:

Staff recommends **approval** of the off-street parking waiver, subject to the condition that the site be improved in accordance with the conceptual site plan, as well as a condition that a twelve-foot wide public walkway shall be installed along the river's edge adjacent to the building, to be completed within 24 months from the issuance of building permits.

Staff point of contact: Matthew Simons at 664-4750, matthew.simons@norfolk.gov

Attachments:

- Staff Report to ARB and CPC dated March 7th and 24th, 2016 with attachments
- Letter of support – Downtown Norfolk Civic League
- Proponents and Opponents
- Ordinance

Architectural Review Board: March 7, 2016

City Planning Commission: March 24, 2016

601 Executive Secretary: George M. Homewood, AICP, CFM *7/11/16*

Staff: Matthew Simons, AICP, CZA, CFM *M.S.*

Staff Report	Non-agenda item	
Address	519 Front Street	
Applicant	James Reidy	
Request	Downtown Development Certificate	Convert existing 4-story historic warehouse to multi-family residential with 57 dwelling units
Property Owner	Front Street Flats, LLC	
Site Characteristics	Site/Building Area	15,221/ 74,415 square feet
	Future Land Use Map	Downtown
	Zoning	D-5 (Fort Norfolk) district
	Neighborhood	Downtown
	Character District	Downtown
Surrounding Area	North	D-5: National Oceanic and Atmospheric Administration (NOAA) office
	East	D-5: People for the Ethical Treatment of Animals (PETA) office
	South	D-5: Vacant site; condominiums
	West	D-5: Industrial warehouse



A. Summary of Request

- This application is for a Downtown Development Certificate to permit the substantial renovation of a four-story, historic warehouse into a 57-unit multi-family building in the D-5 zoning district with two development waivers.
- The site consists of a vacant warehouse building and is located within the Fort Norfolk area directly to the west of the PETA building.
 - The building, historically known as the *Security Storage & Safe Deposit Company Warehouse*, was constructed in 1916, is listed as a contributing resource on both the Virginia Landmarks Register (VLR – 9/18/2014) and the National Register of Historic Places (NRHP – 11/19/2014), with a period of significance between 1916-1948.
 - The proposed conversion of the building into multi-family residential is eligible for historic tax credits, which would require all improvements, modifications and alterations to be rigorously reviewed in order to be approved by the National Park Service (NPS) and the Virginia Department of Historic Resources (VDHR).

B. Historic Context and Impacts

- The building was approved as an historic resource by the NPS and VDHR in 2014; meeting the following applicable National Register criteria:
 - Significant to the history of commerce: the property is associated with events that have made a significant contribution to the broad patterns of our history.
 - Architectural significance: the property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- The *Security Storage & Safe Deposit Company Warehouse* was built as a fireproof storage facility in the Commercial Style with Art Deco and/or Cubist elements (NPS/NRHP Registration Form DHR No. 122-0901).
- The structure represents one of only two intact large-scale industrial buildings left in this portion of downtown originally referred to as Atlantic City.
- Concerning the architecture of the building, the warehouse is largely intact, in good condition, and retains most of its historic features.
 - The warehouse represents an extraordinary rare historic resource type on the heavily redeveloped Norfolk waterfront.
 - The period of significance began with the warehouse's construction in 1916 and ends in 1948 when the original sash windows were removed.
- While the structure is designated as a contributing resource by the NPS and VDHR, the site is not located within a locally designated historic district or identified as a local historic landmark, and the design guidelines applicable within local historic districts do not apply to this structure.
 - However, the applicant proposes to utilize State/Federal historic tax credits to rehabilitate the structure, following all NPS/VDHR guidelines for an appropriate historic restoration.

C. Criteria for Review – Downtown Development Certificate

- In reviewing and making recommendations concerning Downtown Development Certificates, the following criteria applicable to this application shall be considered:
 - Conformity with the *Downtown Norfolk Pattern Book*.
 - Relation to any nearby historic structures or districts including the height of any building.
 - Pedestrian circulation within the proposed development and its relation to downtown public open space and pedestrian circulation patterns, particularly to arcades, bridges, or any other form of pedestrian connection.
 - Architectural relationships, both formal and functional, of the proposed development to surrounding buildings, including building siting, massing, proportion, and scale.
 - Protection of significant views and view corridors.
 - Relationship of on-site lighting to other surrounding lighting.
 - Downtown development standards applicable to the D-5 zoning district.

D. Plan Consistency

- The proposed reuse of the structure is consistent with *plaNorfolk2030*, which designates this site as downtown which permits multi-family.
- The *Downtown Norfolk Pattern Book* describes a strategy for new development, which encourages appropriately scaled infill development with strong architectural character and harmony within downtown.
 - No new buildings are proposed for the site.
- Action DL1.1.6 of the Enjoying Daily Life chapter of *plaNorfolk2030* calls for enhancing public access to parks and recreational facilities by making needed infrastructure improvements to access sidewalks, bikeways, boat ramps and beach access ways.
 - In working with the Architectural Review Board and City Planning Commission, the applicant has agreed to a condition within the attached ordinance to install a twelve-foot wide public walkway along the Elizabeth River.
 - The proposed walkway will provide pedestrian connectivity from the Bea Arthur Dog Park to the underutilized industrial property to the west, with the intent that future redevelopment will tie-in, providing public access to the river.

E. Zoning Analysis – Downtown Development Certificate

i. General

- The site is zoned D-5 zoning district which permits the use by-right.
- A Development Certificate is required for any development or substantial renovation requiring waivers; this application requests the following development waivers:
 - The proposal requests a waiver from the building placement requirement.
 - The proposal requests a waiver from the minimum off-street parking requirement.

ii. Parking

- The site is located within the D-5 which requires two parking space per dwelling unit for residential uses.
- The 57 residential units require 114 parking spaces and 75 are proposed.
 - A waiver is required for parking.

iii. Flood Zone

- The property is located in the AE Flood Zone, which is a high-risk flood zones.
- The proposed redevelopment of the site is currently being reviewed under the Site Plan Review Process to ensure compliance with the Floodplain/Coastal Hazard Overlay District.
 - The height of the first finished floor will be raised approximately six feet above the existing grade in order to comply with current floodplain requirements.

iv. Development Standards

- **Fenestration – transparency requirement** (no waiver permitted):
 - Since the site is not located along any principal streets/pedestrian ways there is no fenestration requirement.
- **Lot coverage** (no waiver permitted):
 - Maximum of 80% lot coverage permitted.
 - Proposal conforms with 24% lot coverage.
- **Open space requirement** (no waiver permitted):
 - Review to include its location, design, landscaping, and other significant characteristics and its relation to existing and planned public and private open space.
 - Minimum of 10% required.
 - Proposal conforms with 17% of the site maintained as open space.
- **Floor area ratio** (no waiver permitted):
 - Maximum floor area ratio (FAR) of 3.5 permitted.
 - Proposal conforms with a FAR of 1.22.
- **Building placement on the site – build-to line requirement** (waiver requested):
 - For buildings between three to five stories in height, a 20-foot setback is required for the side yard and corner side yard.
 - The building encroaching 1.5 – 2 feet into the Front Street right-of-way, which will require a waiver from the building placement requirement.
 - The applicant has applied for the necessary encroachment from the Department of Public Works.
 - The building placement waiver is also needed in order to maintain the existing building in place and promote the rehabilitation of an historic resource.

- **Off-street parking and loading requirements** (waiver requested):
 - The proposal will conform to the bicycle parking requirement of one space per four dwelling units, with at least 16 bike spaces proposed within the building.
 - The D-5 district prohibits any parking from being located within 100 feet of the Elizabeth River unless separated from the river by a public right-of-way.
 - The proposed off-street parking does not meet the two space per dwelling unit requirement but instead provides 1.3 off-street parking spaces per dwelling unit.
 - The site is located within walking distance to both downtown and the EVMC/Fort Norfolk light rail transit station.
 - Since the existing building is sited directly against the water's edge of the river, a public right-of-way separating the parking area from the river would terminate at the edge of the building and essentially form a dead-end path.
 - The proposal requests a waiver from the minimum off-street parking requirement of two spaces per dwelling unit and from the parking location requirement within 100 feet of the Elizabeth River.

v. Waivers

- In accordance with the regulations of the *Zoning Ordinance*, the Planning Commission may recommend and the City Council may approve such waivers upon making the following findings:
 - That the application submitted, while not strictly in accord with certain general regulations, meets public purposes, is not contrary to planning principals contained in the adopted Downtown Norfolk Plan or general plan and provides public protection to an equivalent or greater degree; or
 - That in the particular circumstances of the case, strict application of a regulation or regulations is not necessary for the accomplishment of public purposes or the provision of public protection, at the time or in the future.
- Given that the proposal would substantially improve a currently vacant historic structure, and is proposed to conform to the historic preservation requirements of the NPS and VDHR, the requested waivers are both necessary for the structure's restoration.

F. Payment of Taxes

The owner of the property is current on all real estate taxes.

G. Civic League

Development Certificates do not require any public notification.

H. Commission Action

- By a vote of **7 to 0**, the Architectural Review Board recommends **Approval** of the development waivers, subject to the conditions shown below:

I. Recommendation

Building Placement Waiver:

Staff recommends **approval** of the waiver, since meeting the building placement requirement is not feasible for an existing building without jeopardizing the historic integrity.

Off-Street Parking waiver:

Staff recommends **approval** of the off-street parking waiver, subject to the following conditions:

- (a) The site shall be designed generally in accordance with the conceptual site plan entitled "Layout & Utility Plan of Front Street Apartments," prepared by MSA, P.C., dated December 1, 2015, attached hereto and marked as "Exhibit A," subject to any revisions required to be made by the City during the City's site plan review and building permit plan review processes.
- (b) Engineered foundation piers designed generally in accordance with the foundation plan entitled "Foundation/Existing First Floor Slab Plan (New Work)," prepared by Sinclair Pratt Cameron, P.C., dated December 19, 2015, Revision #3 dated February 29, 2016, attached hereto and marked as "Exhibit B," and shall be installed, along with a twelve-foot wide public walkway beginning from the building's primary southern entrance and extending westwardly to the western property line, to be installed within 24 months of the issuance of a building permit.
- (c) Any subsequent changes made to the project described in the staff report and as approved through this development certificate process, shall be reviewed as an amendment to the development certificate.

Attachments

Location Map
Zoning Map
Application
Physical Survey
Conceptual Site Plan
Landscape Plan
Foundation Plan
Historic Photo
Existing Elevations
Proposed Elevations
Conceptual Rendering
Letter of no objection – Downtown Norfolk Civic League

Proponents and Opponents


Proponents

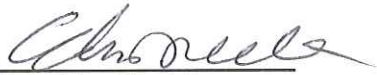
James Reidy – Applicant
515 Wilder Drive
Virginia Beach, VA 23451

Frank Reidy
515 Wilder Drive
Virginia Beach, VA 23451

Opponents

None

Form and Correctness Approved: 

By 
Office of the City Attorney

Contents Approved: 

By 
DEPT.

NORFOLK, VIRGINIA

ORDINANCE No.

AN ORDINANCE GRANTING A DOWNTOWN DEVELOPMENT CERTIFICATE TO PERMIT THE RENOVATION OF AN EXISTING, HISTORIC BUILDING FOR USE AS A MULTI-FAMILY RESIDENTIAL DWELLING ON PROPERTY LOCATED AT 519 FRONT STREET.

- - -

BE IT ORDAINED by the Council of the City of Norfolk:

Section 1: - That a Downtown Development Certificate is hereby granted to permit the renovation of an existing, historic building for use as a multi-family residential dwelling on property located at 519 Front Street. The property to which the Certificate applies is more fully described as follows:

Property fronts 195 feet, more or less, along the southern line of Front Street and 97 feet, more or less, along the western line of Radar Street; premises numbered 519 Front Street.

Section 2:- That the Council expressly finds that waivers from the requirements of §§ 8-5.7(c) and 8-5.8 of the Zoning Ordinance of the City of Norfolk, 1992, (as amended) regarding building placement and off-street parking are appropriate because the application submitted, while not strictly in accord with certain general regulations, meets public purposes, is not contrary to planning principals contained in the adopted Downtown Norfolk Plan or general plan and provides public protection to an equivalent or greater degree, and because, in the particular circumstances of the case, strict application of these regulations is not necessary for the accomplishment of public purposes or the provision of public protection at this time or in the future; wherefore such waivers are hereby granted.

Section 3:- That the Downtown Development Certificate granted hereby shall be subject to the following conditions:

- (a) The site shall be designed generally in accordance with the conceptual site plan prepared by MSA, P.C., dated December 1, 2015, entitled "Front

Street Apartments," attached hereto and marked as "Exhibit A," subject to any revisions required to be made by the City through the site plan review and building plan review processes.

- (b) Engineered foundation piers designed generally in accordance with the foundation plan entitled "Foundation/Existing First Floor Slab Plan (New Work)," prepared by Sinclair Pratt Cameron, P.C., dated December 19, 2015, Revision #3, dated February 29, 2016, attached hereto and marked as "Exhibit B," and shall be installed, along with a twelve-foot wide public walkway beginning from the building's primary southern entrance and extending westwardly to the western property line, to be installed within 24 months of the issuance of a building permit.
- (c) Any subsequent changes made to the project, as described in the staff report and as approved through the Downtown Development Certificate process, shall be reviewed as an amendment to the development certificate.

Section 4:- That this ordinance shall be in effect from the date of its adoption.

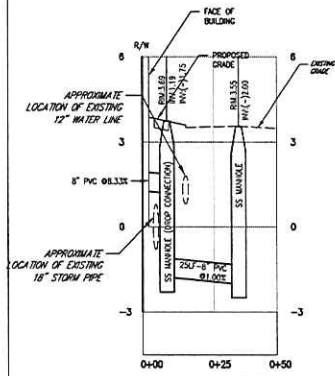
ATTACHMENTS:

Exhibit A (1 page)

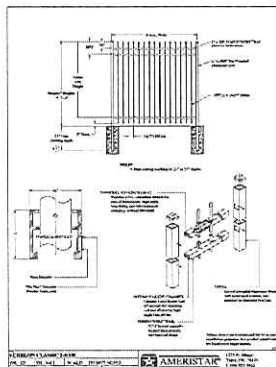
Exhibit B (1 page)

WATER AND SEWER UTILITY NOTES:

- [illegible]

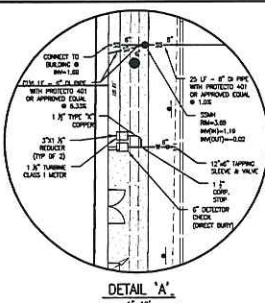


SANITARY SEWER PROFILE



LAYOUT AND UTILITY NOTES:

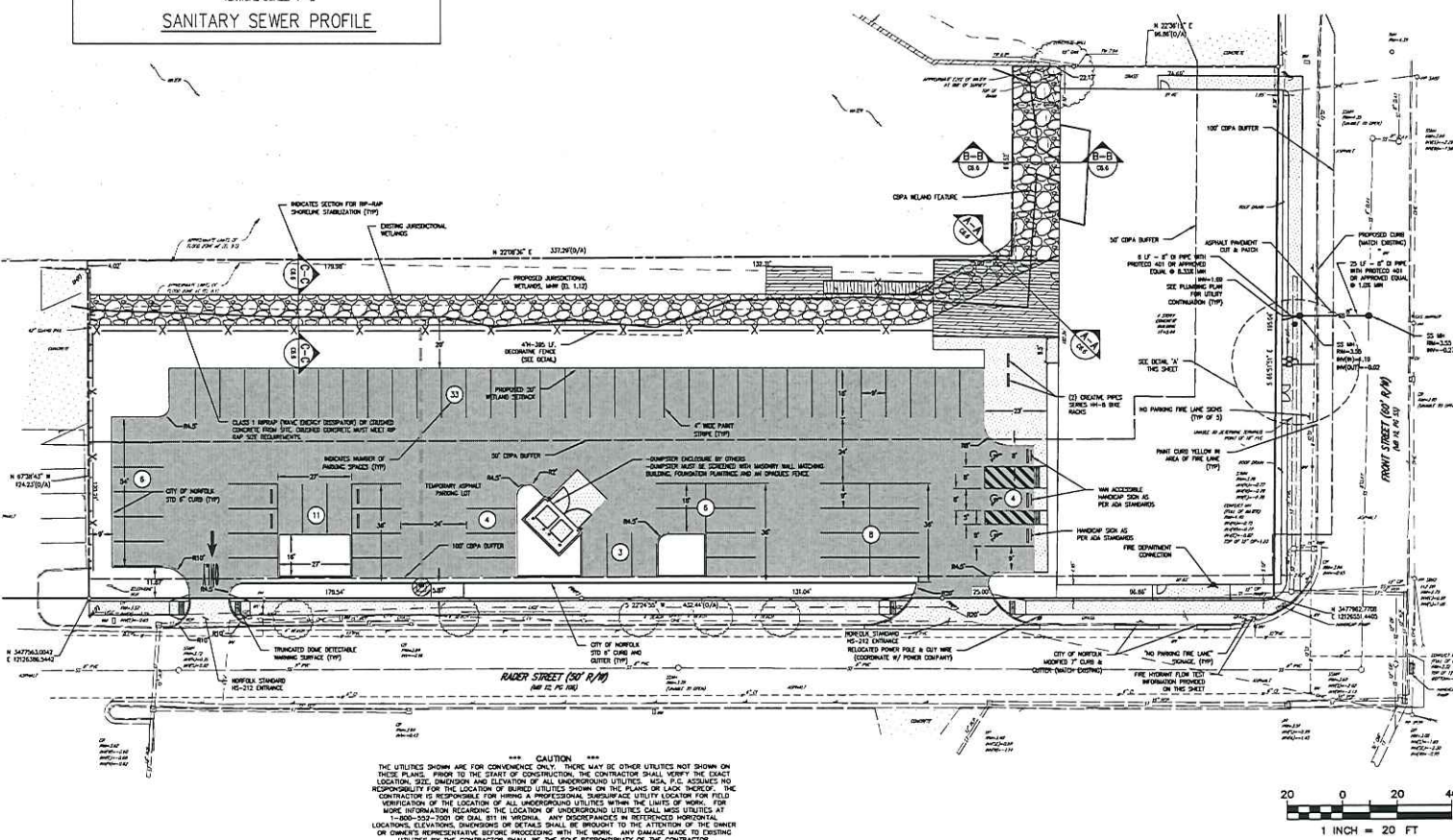
5. THE REMOVAL OR REDUCTION OF ALL UTILITIES AND APPURTEANANCES WILL BE AT THE RISK AND EXPENSE OF THE CONTRACTOR. THESE UTILITIES SHOULD NOT BE LIMITED TO GAS, WATER, SEWER, TELEPHONE, LOCAL TELEVISION, CABLE TELEVISION, ETC.
 6. FOR COORDINATION OF URBANA DOMESTIC POWER UTILITIES CONTACT JERRY PHELPS AT (707) 867-3772.
 7. CONSTRUCTION TO FIELD MEANS VERY LOW VOLTAGE OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
 8. ALL CABLE SATELLITE SIGNALS SHALL BE PIVOT CLOSING.
 9. ALL WATER LINE PIPE MATERIAL, GREATER THAN 1/2" SHALL BE DUCTILE IRON, ALL STEEL PIPE 1/2" OR WATER LINE GREATER THAN 1/2" DUCTILE IRON SHALL BE THE "C" COPPER TUBING.
 10. MAINTAIN AN UNBARRIRED VERTICAL SEPARATION FOR SEWERS AND STEAM OR CONDENSING HOT WATER LINES. MAINTAIN A HORIZONTAL SEPARATION BETWEEN WATER AND SEWER MAINS.
 11. ALL OVERCROSSING ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
 12. ALL MECHANICALS SHALL BE ROOF MOUNTED AND NOT BE SORTED FROM PUBLIC VIEW.
- FIRE HYDRANT FLOW TEST INFORMATION:**
- TEST PRESSURE = 64 PSI
- RESIDUAL PRESSURE = 40 PSI
- FIRE FLOW PRESSURE = 1,000 GPM
- DATE OF TEST: 7/27/01 @ 2:30PM



DETAIL :

FIRE HYDRANT FLOW TEST INFORMATION:

STATIC PRESSURE = 64 GPM
RESIDUAL PRESSURE = 40 GPM
FIRE FLOW PRESSURE = 1,000 GPM
DATE OF TEST: 7/7/15 @ 2:30PM



CAUTION *** THE UTILITIES SHOWN ARE FOR CONVEYANCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, DIMENSION AND ELEVATION OF ALL UNDERGROUND UTILITIES. IBCA, P.C. ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR IS RESPONSIBLE FOR HIRING A PROFESSIONAL SURVEYOR/UTILITY LOCATOR FOR FIELD VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LIMITS OF WORK. FOR MORE INFORMATION, CONTACT THE IBCA AT 1-800-552-7001 OR DIAL 811 IN VIRGINIA. ANY DISCREPANCIES IN REFERENCED HORIZONTAL, VERTICAL, ELEVATIONS, DIMENSIONS OR DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. ANY CHANGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

MSA, P.C.
Environmental Services • Planning • Surveying
Civil & Environmental Engineering • Landscape Architecture

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www.msaonline.com

[illegible]

VIRGINIA

L-3
LAYOUT & UTILITY PLAN
of
FRONT STREET APARTMENTS

FOLK

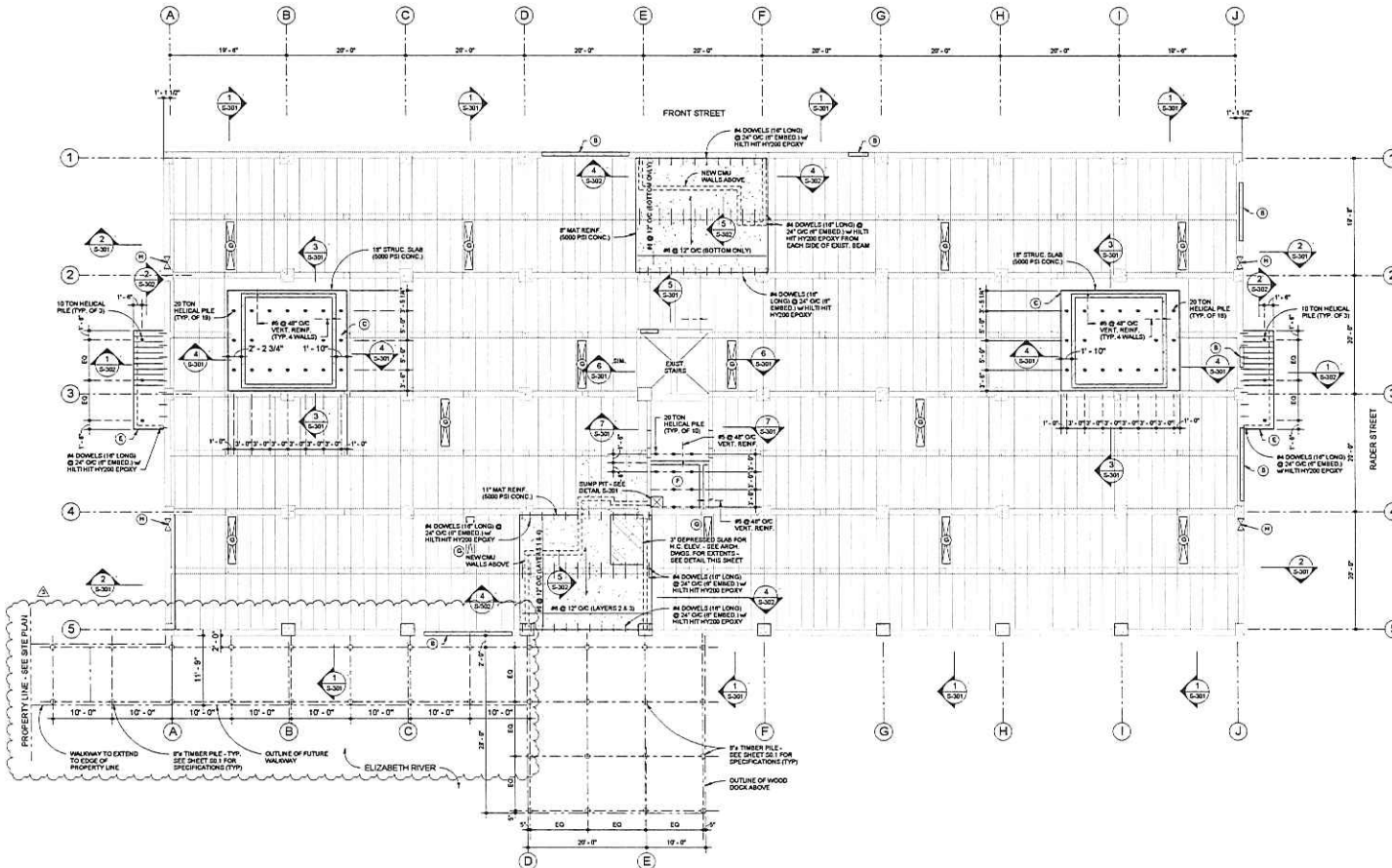
SHEET
041

C4.1
4 of 13 Sheets

SCALE: 1"=20'

PROJ. NO.: 14054

EXHIBIT B

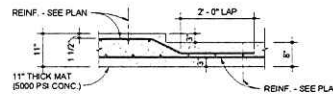


FOUNDATION / EXIST. FIRST FLOOR SLAB PLAN (NEW WORK)

1/8" = 1'-0"

FOUNDATION PLAN NOTES

- ALL ELEVATIONS SHOWN ON PLAN ARE MEASURED FROM REFERENCE TOP OF EXISTING SLAB ELEVATION 0'-0" ACTUAL ELEVATION = 5.54'
- SEE SHEET S-201 FOR WALL / DOOR OPENING INFILL DETAILS
- NEW WALLS TO BE PLACED ON NEW 18" THICK MAT FOUNDATION REINFORCED WITH #6 @ 8" OC EACH WAY TOP AND BOTTOM TOP OF MAT SHALL BE AT 3'-4" FROM TOP OF EXIST. FIRST FLOOR SLAB
- ALL EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION
- 12" THICK MAT FOUNDATION UNDER EXTERIOR CONCRETE STAIRS REINFORCED WITH #5 @ 12" OC EACH WAY TOP AND BOTTOM
- 12" THICK MAT FOUNDATION AT BOTTOM OF ELEVATOR PIT. VERIFY ELEVATION WITH ELEVATOR MANUFACTURER PRIOR TO PLACEMENT. MAT REINFORCED WITH #5 @ 12" OC EACH WAY TOP AND BOTTOM. CONCRETE SHALL BE 5000 PSI
- NEW 1'-4" WIDE x 8'-0" LONG FOUNDATION VENT. SEE SHEET S5-100
- LOUVERED VENTS - COORDINATE EXACT SIZE WITH MECHANICAL LOCATE USING THE ARCHITECT'S DRAWINGS



SLAB DEPRESSION DETAIL AT HANDICAP RAMP

3/4" = 1'-0"

TREES REMOVED IN THE 100' BUFFER: (3) - 12" MULBERRY, (1) - 15" MULBERRY,
(1) - 20" MULBERRY = 2,659 SF OF CANOPY. = 12 CANOPY TREES REQUIRED

PROPOSED 50' BUFFER MITIGATION	
SPECIES/KEY	QUANTITY
CANOPY TREES	
WILLOW OAK (T2)	10
EASTERN RED CEDAR (T4)	9
SEEDLESS SWEETGUM (T7)	3
TOTAL CANOPY	22
UNDERSTORY	
(2 TREES = 1 CANOPY TREE)	
AMERICAN HOLLY (T1)	18
SWEETGUM MAGNOLIA (T3)	10
TROENT MAPLE (T5)	14
GRAPE MYRTLE (T8)	20
TOTAL UNDERSTORY	62
SHRUB	
DWARF YAUPOIN HOLLY (S4)	72
INDIAN HAWTHORN (S5)	9
TOTAL SHRUB	81
LARGE SHRUB	
(10 SHRUBS = 1 CANOPY TREE)	
WAX MYRTLE (S3)	10
TOTAL CANOPY CREDITS	27

TREES REMOVED IN 100' BUFFER		MITIGATION
SPECIES/KEY		QUANTITY
CANOPY TREES		
DUE TO SITE CONSTRAINTS LARGE SHRUBS HAVE BEEN PROVIDED INSTEAD OF CANOPY TREES		
LARGE SHRUB		
(10 SHRUBS = 1 CANOPY TREE)		
DWARF BURFORD HOLLY (S1)	19	
ARROWWOOD VIBURNUM (S5)	25	
PAMPAS GRASS (S7)	8	
BIGLEAF HYDRANGEA (S8)	5	
BURNING BUSH (S9)	18	
INKBERRY HOLLY (S10)	45	
TOTAL LARGE SHRUB		
	120	
TOTAL CANOPY CREDITS		
	12	

CITY OF NORFOLK NOTES:

- 1.) ALL TREES SHALL BE A MINIMUM OF TWO TO 2-1/2 INCHES IN CALIPER AND EIGHT FEET IN OVERALL HEIGHT AT THE TIME OF INSTALLATION AND OF A VARIETY WHICH SHALL ATTAIN A MATURE SPREAD OF AT LEAST 20 FEET.
- 2.) ALL LANDSCAPING MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS AND STANDARDS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" 1986, PUBLISHED BY THE ASSOCIATION OF NURSERYMEN, 1230 I STREET, N.W., SUITE 500, WASHINGTON, D.C. 20005.

3.) PLANTING SEASON RESTRICTIONS:

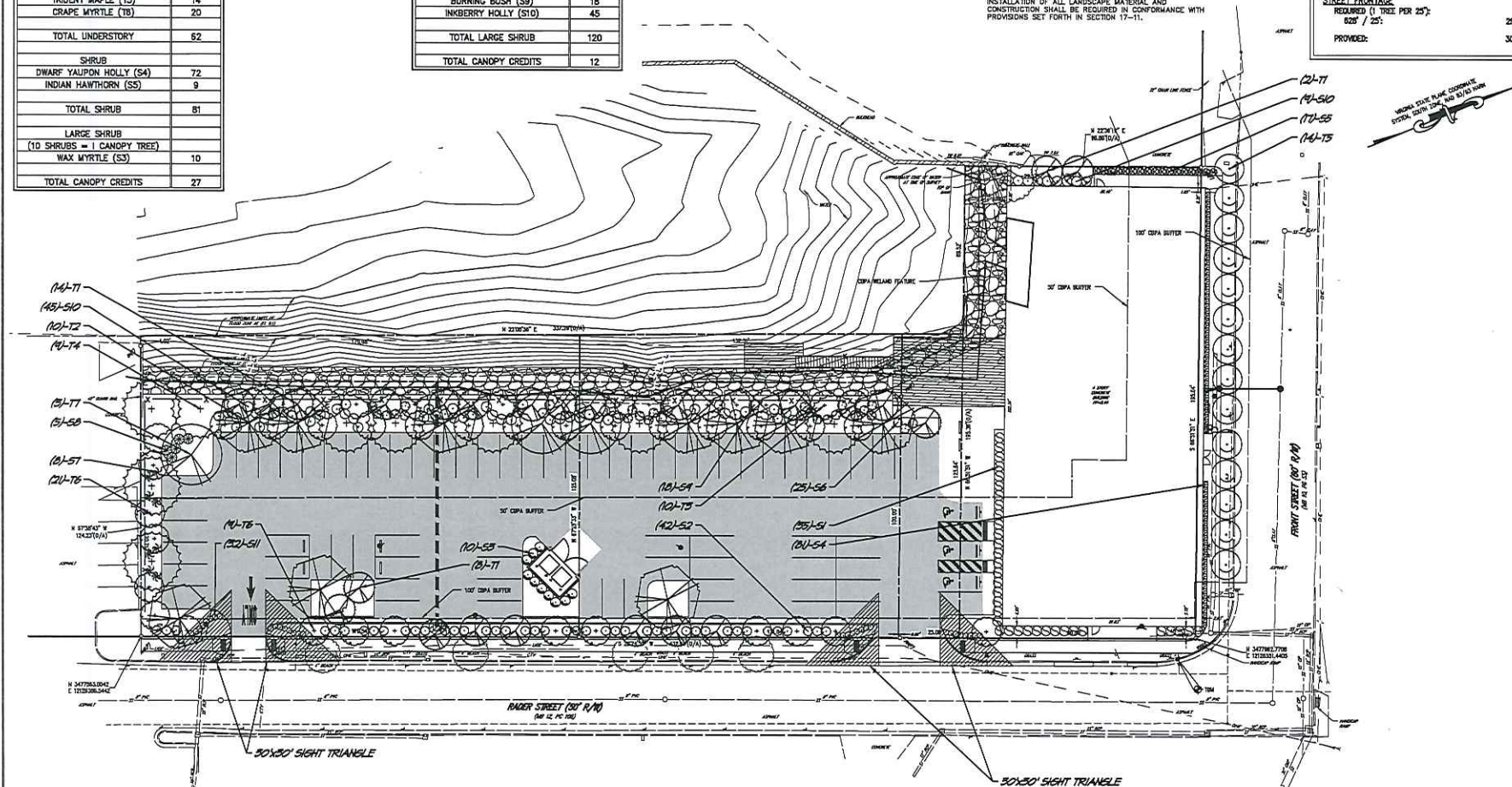
ALL BALL AND BURLAP PLANT MATERIAL SHALL BE INSTALLED FROM OCTOBER 15 TO MARCH 31, UNLESS OTHERWISE AUTHORIZED BY THE DEPARTMENT OF PARKS AND RECREATION.

ALL CONTAINER GROWN PLANT MATERIAL SHALL BE INSTALLED FROM SEPTEMBER 15 TO MAY 15, UNLESS OTHERWISE AUTHORIZED BY THE DEPARTMENT OF PARKS AND RECREATION.

ANY OTHER DATES NOT LISTED ABOVE IN THIS SECTION SHALL BE CONSIDERED OUT-OF-SEASON. IN SUCH CASES, A BOND OR OTHER FORM OF SURETY COVERING THE COST OF INSTALLATION OF ALL LANDSCAPE MATERIAL AND CONSTRUCTION SHALL BE REQUIRED IN CONFORMANCE WITH PROVISIONS SET FORTH IN SECTION 17-11.

LANDSCAPE SUMMARY

<u>OPEN SPACE</u>	
REQUIRED (10% OF TOTAL SITE):	
60,904 SF X 10%:	6,090 SF
PROVIDED:	10,365 SF
<u>PARKING LOT INTERIOR</u>	
GREEN SPACE REQUIRED (10% OF PARKING AREA):	1,285 SF
12,854 SF X 10%:	1,840 SF
GREEN SPACE PROVIDED:	
TREES REQUIRED (1 TREE PER 144 SF):	0 TREES
1,285 SF / 144 SF:	
PROVIDED:	18 TREES
<u>STREET FRONTAGE</u>	
REQUIRED (1 TREE PER 25'):	28 TREES
620' / 25':	
PROVIDED:	30 TREES



***** CAUTION *****

THE UTILITIES SHOWN FOR CONVEYANCE ONLY... THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, DEPTH AND NUMBER OF ALL UTILITIES. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THE LOCATION OF BURIED UTILITIES SHOWN ON THE PLANS ON LACK THEREOF. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMISSIONS FROM ALL AFFECTED UTILITY LOCATIONS FOR FIELD VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL OBTAIN MORE INFORMATION REGARDING THE LOCATION OF UNDERGROUND UTILITIES CALL MISS UTILITIES AT (800) 678-2262. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INFORMATION REGARDING THE LOCATION, ELEVATIONS, DIMENSIONS OR DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK. ANY DAMAGE MADE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR.

MSA, P.C.
Environmental Sciences • Planning • Surveying
Civil & Environmental Engineering • Landscape Architecture

5033 Route Drive, Virginia Beach, VA 23462
757-490-9264 (O) 757-490-0634 (Fax)
www.msaonline.com



DESIGNED	NAL
GRAPH	WSA
EXCISED	NAL
APPROVED	NAL

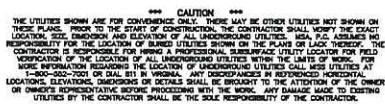
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1

LANDSCAPE PLAN
of
FRONT STREET APARTMENTS

SHEET
L1.1
11 of 12
SCALE: 1"=20'
PROJ. NO.: 1405

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF JEFFREY J. VIERREHER, L.S. (LIC. NO. 2306) FROM AN ACTUAL GROUND/AIRBORNE SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON MARCH 31, 2014; AND THAT THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED

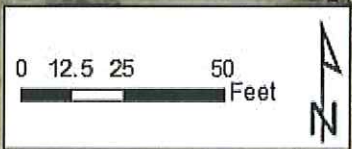


SHEET
C2.1
2 of 13 Sheets
SCALE: 1"=20'
PROJ. NO.: 14054

Location Map



519 FRONT STREET



Zoning Map

D-5

2ND STREET

OSP

FRONT STREET

W BRAMBLETON AVENUE
W BRAMBLETON AVENUE

519 FRONT STREET

D-5

RADER STREET

0 30 60 120 Feet





APPLICATION Downtown Development Certificate

Date of application: 29 DEC 2015

DESCRIPTION OF PROPERTY

Proposed Location of Property: Street Number) 519 (Street Name) FRONT

Zoning Classification: D-5

Existing Use of Property: VACANT WAREHOUSE

Current Building Square Footage 58,008 Sq Ft

Proposed Use HISTORIC CONVERSION TO MULTIFAMILY APARTMENTS

Trade Name of Business (If applicable) _____

APPLICANT/ PROPERTY OWNER

1. Name of applicant: (Last) REIDY (First) JAMES (MI) _____

Mailing address of applicant (Street/P.O. Box): _____

(City) _____ (State) _____ (Zip Code) _____

Daytime telephone number of applicant () _____ Fax () _____

E-mail address of applicant: jwreidy@hotmail.com

2. Name of property owner: (Last) 519 FRONT ST LLC
REIDY (First) JAMES (MI) _____

Mailing address of property owner (Street/P.O. box): 515 WILDER DR

(City) VIRGINIA BEACH (State) VA (Zip Code) 23451

Daytime telephone number of owner (503) 863 7256 Fax number () _____

DEPARTMENT OF CITY PLANNING

810 Union Street, Room 508

Norfolk, Virginia 23510

Telephone (757) 664-4752 Fax (757) 441-1569

(Revised December, 2014)

CIVIC LEAGUE INFORMATION

Civic League contact: KEVIN MURPHY

Date(s) contacted: 28 DEC 2015

Ward/Super Ward Information: DOWNTOWN NORFOLK CIVIC LEAGUE

CRITERIA FOR REVIEW

Please provide the following information:

- (a) Use characteristics of the proposed development, including provision for ground-floor active uses and continuity along street fronts in various Downtown Districts and provision of residential uses in applicable Downtown Districts
Project involves conversion of historic warehouse into multifamily apartments (57 units)
Ground floor has residential units set at 6ft above current ground floor elevation as per Norfolk/FEMA flood regulations
- (b) Preservation of historic structures and districts; preservation of significant features of existing buildings are to be renovated; relation to nearby historic structures or districts including a need for height limits.
Renovation will be conducted according to VA Department of Historic Resources (DHR) requirements. Historic aspects are preserved and rejuvenated.
No additions or significant additions to exterior of building.
- (c) Location and adequacy of off-street parking and loading provisions, including the desirability of bicycle parking.
Residents parking area will be constructed in open area located immediately adjacent to current existing structure. Bicycle parking will also be included.
- (d) Traffic generation characteristics of the proposed development in relation to street capacity.
Street capacity is available. Provision of bicycle parking and close proximity to light rail will encourage use of alternative transport options and mitigate increased traffic
- (e) The provision of open space to meet the requirements of the district; the location, design landscaping and other significant characteristics of this public open space, and its relation to existing and planned public and private open space.
Landscaping and plant choices are subject to Chesapeake Preservation Act, DHR and City of Norfolk requirements.
Current derelict wharves and pilings will be removed.

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- (f) Pedestrian circulation within the proposed development and its relation to downtown public open space and pedestrian circulation patterns, particularly to plans for pedestrian connections via arcades, bridges or other provisions

Pedestrians can access development from existing city sidewalks that borders 2 sides of property (N and E)

- (g) Architectural relationships, both formal and functional, of the proposed development to surrounding buildings, including building siting, massing, proportion, and scale.

Building is preexisting, no significant additions to exterior of building, except only those allowable by DTR design requirements. Building siting has no immediate adjacent structures.

- (h) Microclimate effects of proposed development, including effects on wind velocities, sun reflectance, and sun access to streets and/or existing buildings and/or public open space.

Building is preexisting and development will not alter local wind velocities or sun access to local streets/buildings/open space.

- (i) Protection of significant views and view corridors.

Development plan will protect significant views and view corridors.

REQUIRED ATTACHMENTS

- Check for **\$5** made payable to Treasurer, City of Norfolk,
- **If waivers are requested**, additional analysis will be needed; which will require an additional fee of **\$100**.
- Description and details of proposal.
- Two 8½ x 14 inch copies of a survey or site plan drawn to scale showing:
 - Existing and proposed building structures
 - Driveways
 - Parking
 - Landscaping
 - Location and dimensions of onsite signage
 - Please provide the names and addresses of all professional consultants advising the applicant in the proposed development

CERTIFICATION:

I hereby submit this complete application and certify the information contained herein is true and accurate to the best of my knowledge:

Print name: JAMES REIDY Sign: [Signature] / 29 DEC 2015 /
(Property Owner or Authorized Agent Signature) (Date)

Print name: Same Sign: _____ / _____ /
(Applicant or Authorized Agent Signature) (Date)

DEPARTMENT OF CITY PLANNING

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(Revised December, 2014)

PROJECT DESCRIPTION AND PROFESSIONAL CONSULTANTS

Front Street Flats: Description

The Security Storage & Safe Deposit Company Warehouse building, constructed in 1916, represents one of only two intact large-scale industrial buildings remaining on the downtown Norfolk Waterfront. The building designed by the well-known Norfolk firm of Neff & Thompson as a fireproof storage facility in the Commercial Style with Art Deco and/or Cubist elements provided secure storage for a variety of goods ranging from tobacco to furniture to grocery products. The distinct water tower on top of the elevator shaft is a Norfolk landmark. This unique and significant building is on the National Register of Historic Places.

The location of this building on the waterfront creates a unique challenge and opportunity for redevelopment. An Elizabeth River inlet extends up underneath the building. The existing structural concrete ground floor of the building is also almost 6 feet below the required elevation for habitable space per the most recent Norfolk flood regulations. After extensive investigation into alternatives it was determined that the best solution to this complex problem was to construct a new structural floor at the required elevation and then cut flood vents in the existing concrete ground floor. In this way the new construction is "reversible" under the Department of Historic Resources guidelines.

This project preserves and repairs this long vacant distinctive industrial building and repurposes it to accommodate 58 one and two bedroom apartments. Every apartment has a view of either the Elizabeth River or The Hague waterfront. The rooftop deck, provides some of the best views available on the waterfront. The new wood dock that provides access to the main entrance of the building is in the same location as the long ago collapsed wharf. A new parking area will be built on the adjacent open area to accommodate residents' vehicles. Appropriate landscaping will be planted according to existing requirements. Bicycle stanchions will be provided for bicycle parking. Existing defunct pilings and collapsed wharfs will be removed and replaced with a riprap revetment. In an effort to increase aquatic habitat, oysters will be encouraged to grow on the installed riprap.

The new interior layout accentuates the massive round concrete columns and leaves exposed the original poured in place concrete floor joist system. The interior design of the units take advantage of the almost continuous massive window openings. The design complies with the guidelines of the Virginia Department of Historic Resources and *The Secretary of the Interior's Standards for Rehabilitation*. Paige Pollard of Commonwealth Preservation Group was the Historic Preservationist for this project and worked on the Owner's behalf to obtain tax credit approval from the Virginia Department of Historic Resources. Michael Molzahn of HBA Architecture and Interior Design is the lead Architect. Doug Will of MSA managed Site Plan, Engineering, and Landscape Architecture.

This is an exciting project for a building that has long been vacant that will provide a revitalization spark to the Fort Norfolk area.

It is anticipated construction will begin in the first quarter of 2016.

Front Street Flats: Professional Consultants

Michael Molzahn, AIA

HBA Architecture & Interior Design, Inc.

One Columbus Center, Suite 1000

Virginia Beach, VA 23462-6797

757.490.9048 (x7645) / 757.323.2220 mobile

Doug Will, PE

MSA, P.C.

5033 Rouse Drive

Virginia Beach, VA 23462-3708

Office: 757-490-9264

Paige Pollard

Commonwealth Preservation Group

PO Box 11083

Norfolk, VA 23517

(757) 923-1900 office

(757) 923-0076 fax

(757) 286-8602 cell



MSA, P.C.
5033 Rouse Drive, Virginia Beach, VA 23462-3708
Office (757) 490-9264 • Fax (757) 490-0634
www.msaonline.com

Environmental Sciences • Planning • Surveying • Civil & Environmental Engineering • Landscape Architecture

February 5, 2016

Matthew Simons, AICP, CZA, CFM
City of Norfolk
Department of Planning and Community Development
5th Floor, Room 508, City Hall Building
810 Union Street
Norfolk, VA 23510

**Re: Site Plan #14-0064, Front Street Apartments- Waiver for Parking Count, Off-street parking and loading requirements and 20ft Building Setback
MSA Project #14054**

Dear Mr. Simons,

This letter is a formal request for a waiver of the required parking count per Ch. 8-0.14 since this project is in downtown zoning district D-5. Per Norfolk Ordinance 8-5.8, two (2) parking spaces per dwelling unit shall be required for required for all residential uses. At fifty-eight (58) proposed dwelling units, the required parking spaces count for this redevelopment totals 116 spaces whereas we are providing seventy-eight parking spaces, including handicap parking. Due to land usage restraints and required open space, we are unable to facilitate a design which will adhere to the parking requirement for this zoning district. The project is located within walking distance to downtown, EVMS and Fort Norfolk light rail station.

A waiver is hereby also requested for the off-street parking and loading requirement Ch. 8-5.8(a). This Norfolk Ordinance Ch. 8-5.8(a) requires no parking to be located within 100 feet of the southern district boundary along the Elizabeth River unless separated from the river by a public right-of-way. Due to the proximity of the property to the river, this requirement is not achievable.

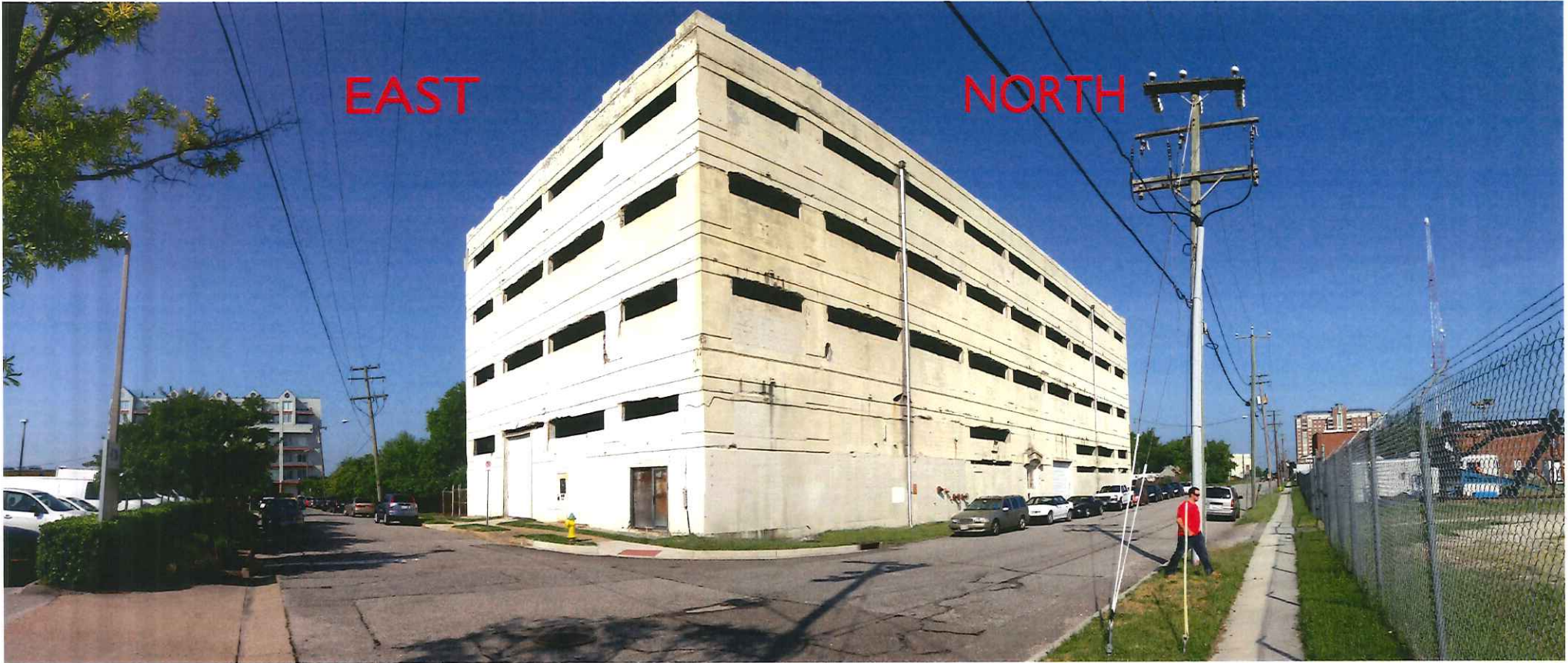
We would also like to request a waiver for the 20ft building setback requirement per Ch. 8-0.14 since the existing building is located within the 20ft setback. Per Norfolk Ordinance 8-5.7 (c)(2), buildings at least three (3) stories but less than five (5) stories in height shall provide a side setback and corner side setback of at least twenty (20) feet. We are unable to meet this requirement as the existing building is being renovated.

Sincerely,

Jack Bloom, P.E. LEED AP
Project Manager

CC: Michael P. Molzahn, AIA





NORTH

WEST



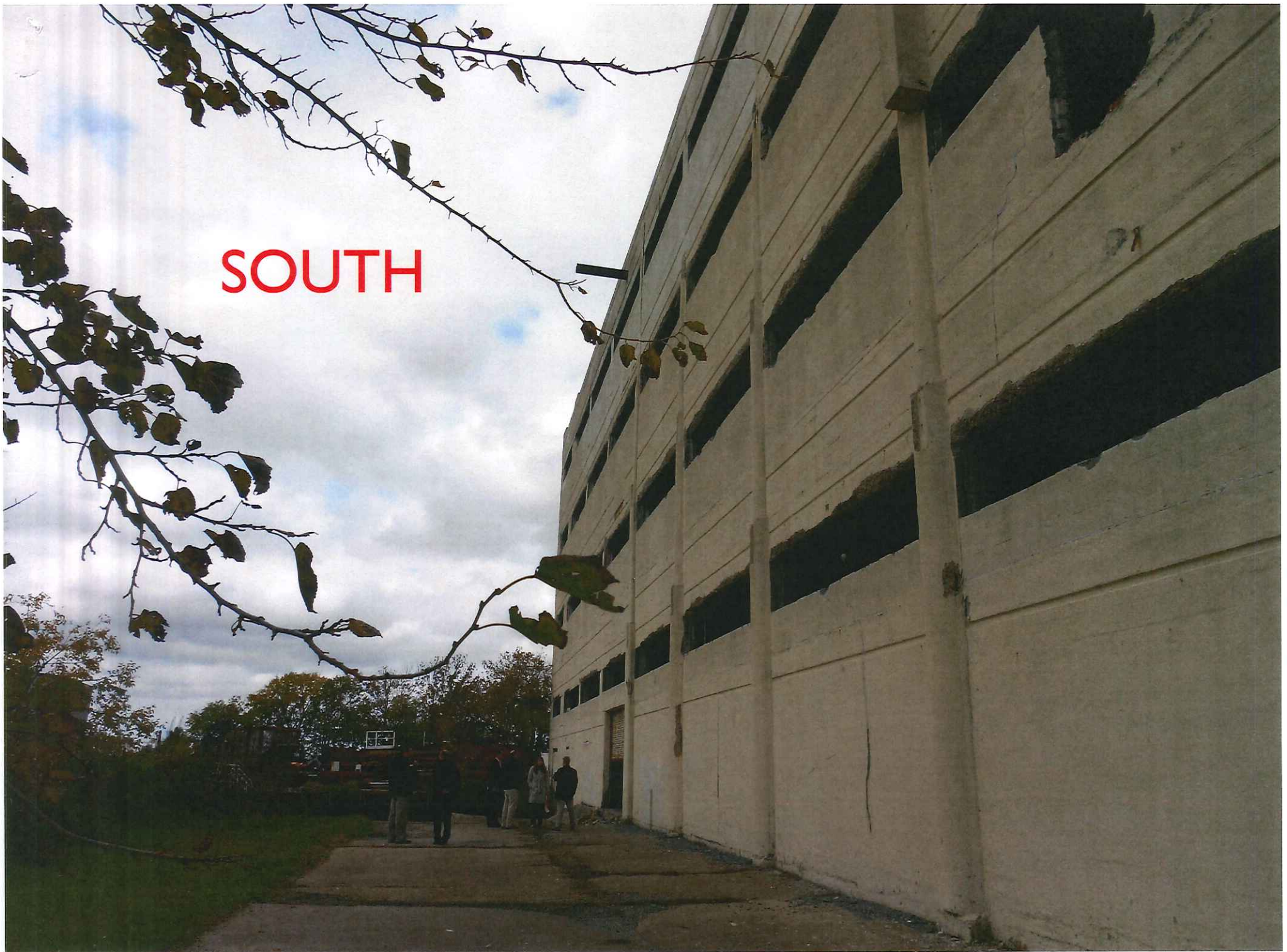
EAST

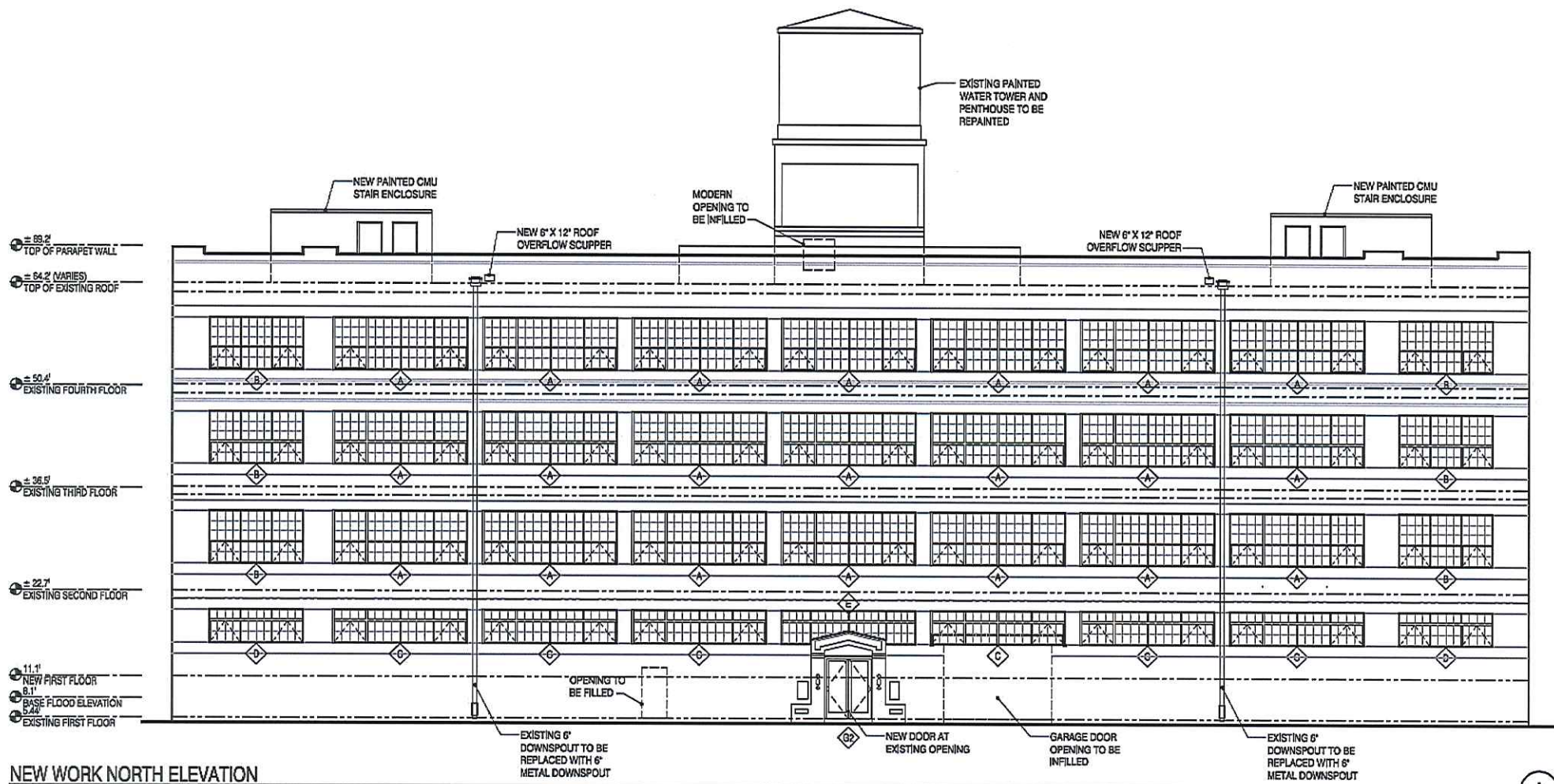


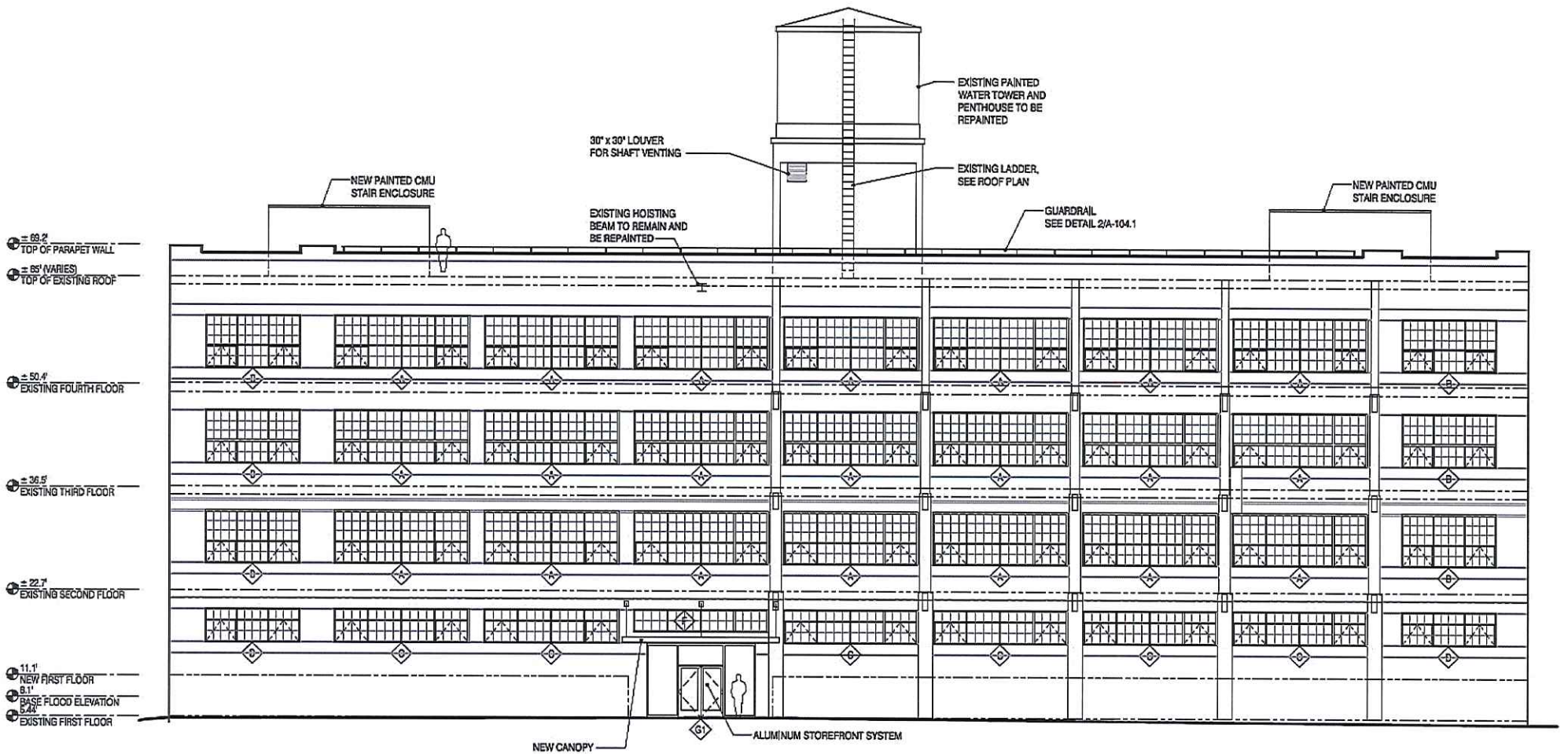
WEST

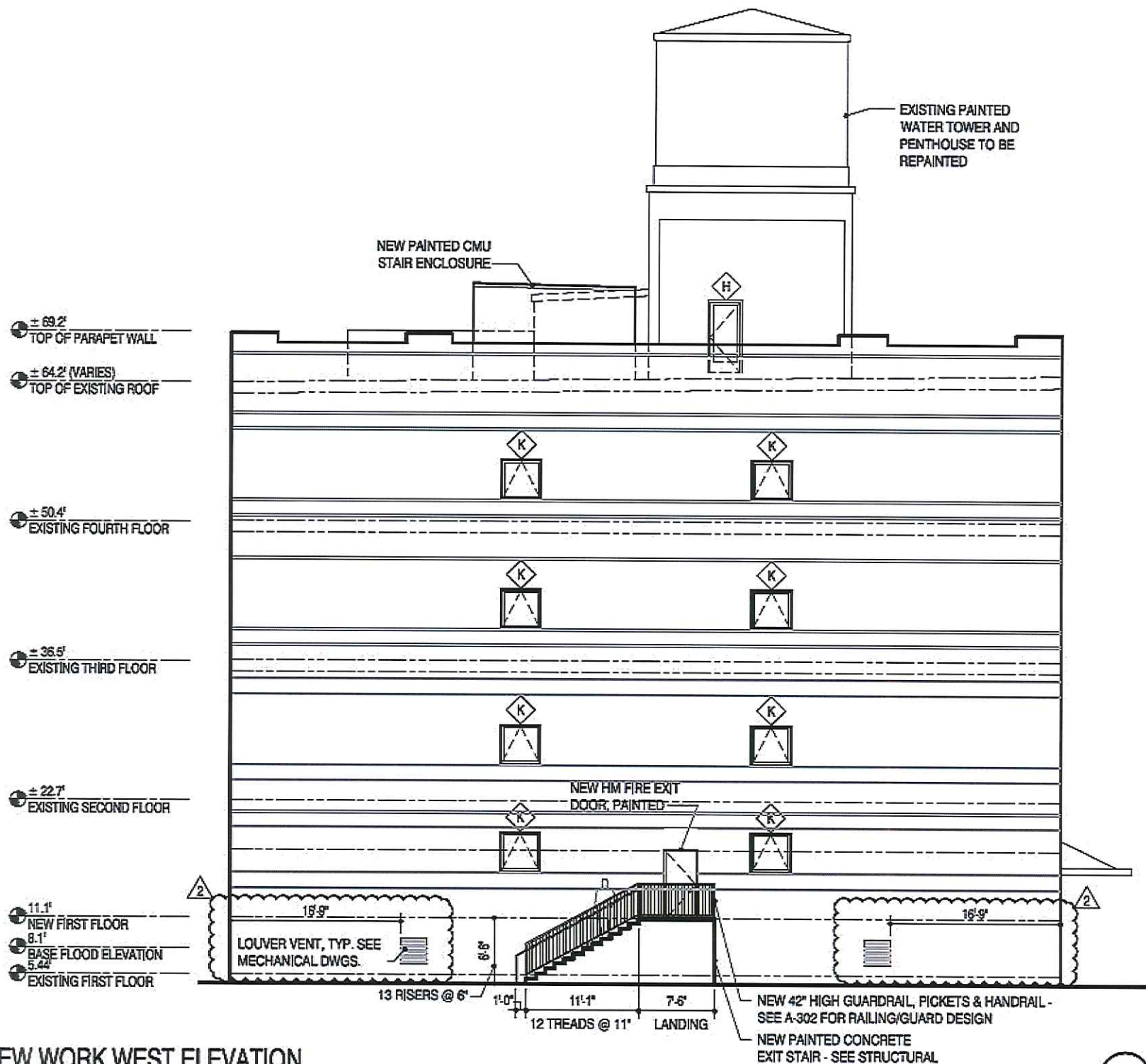


SOUTH









NEW WORK WEST ELEVATION

1/8" = 1'-0"

A-101, A-102, A-103

D



Front Street Flats - Conceptual Rendering

April 21, 2014



From: "Kevin R. Murphy" <krmurphy@verizon.net>

Date: January 4, 2016 10:15:25 AM EST

To: "James Reidy" <jwreidy@hotmail.com>

Subject: RE: 519 Front St Downtown Development Cert Application 1

Hi James,

Thank you for the application and corresponding documents.

There's no reason for the DNCL to object to this project.

Good luck!

Kevin